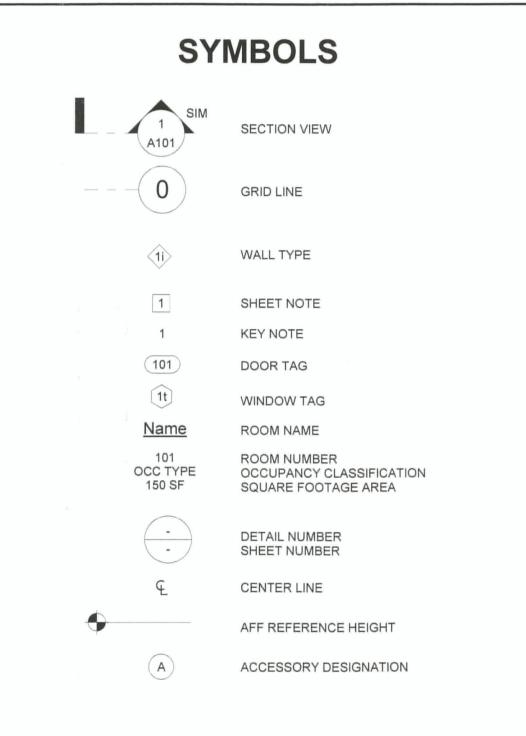


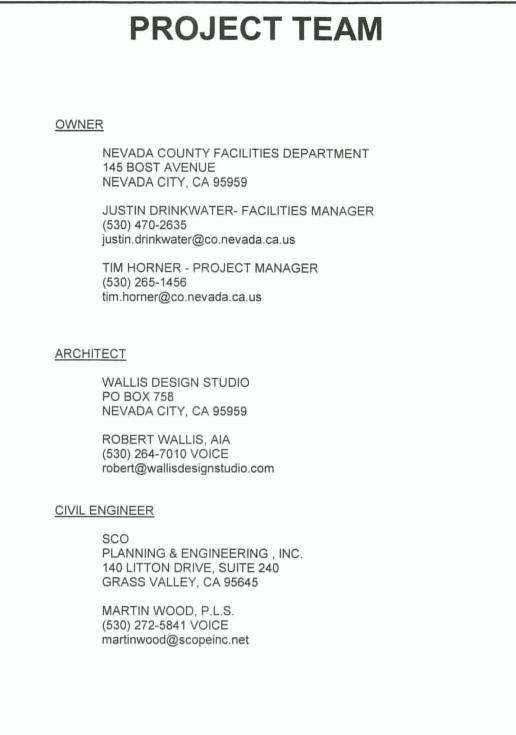
LEGEND AGGREGATE FILL CONCRETE CONCRETE UNIT MASONRY BATT INSULATION RIGID INSULATION STRUCTURAL SHEATHING WOOD FRAMING, CONTINUOUS WOOD FRAMING, BLOCKING GYPSUM BOARD WOOD FINISH

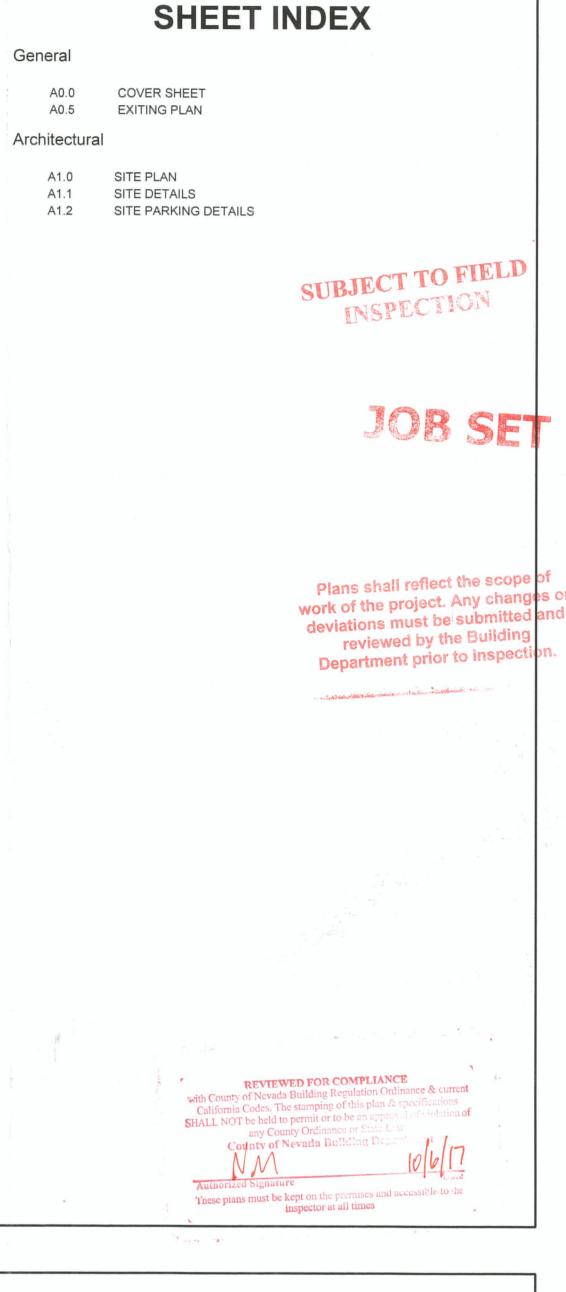


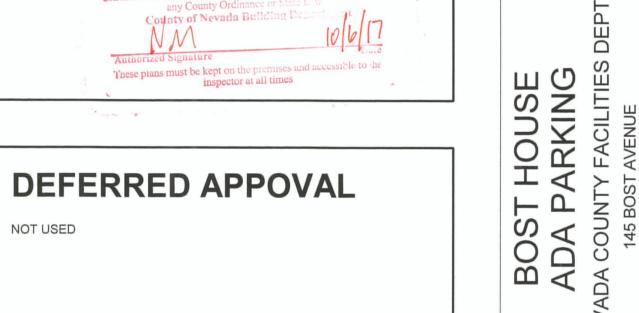
CODES AND STANDARDS

PROJECT INFORMATION GENERAL SITE INFORMATION LOCATION: 140 BOST AVENUE NEVADA CITY, CA 95959 GENERAL SCOPE OF WORK PROJECT CONSIST OF THE FOLLOWING WORK TO THE (E) RECOVERY FACILITY: CONSTRUCT CONCRETE ADA PARKING, ACCESS RAMP, SIDEWALKS. ASPHALT REPAIRS, STRIPING AND SIGNAGE ACCORDING TO THE PLANS AND SPECIFICATIONS. ADDITIONALLY INCLUDE BID ALT 1- PATCH, SEAL ASPHALT AND STRIPING IN THE REMAINDER OF THE PARKING AREA NOT COVERED IN THE **BUILDING INFORMATION** 05-300-10 ZONING: LB, SC, AN LAND USE: RESIDENTIAL (E) RECOVERY FACILITY - 19 O/ NIGHT BUILDING USE: BEDS 4 COUNSELORS (DAY USE) OCCUPANCY TYPE: OCCUPANCY: R-2 TYPE OF CONSTRUCTION: TYPE V-B 34'-9" BUILDING HEIGHT: NUMBER OF STORIES: FLOOR AREA: 4,650 SF FIRE SPRINKLERS: **BUILDING CONSTRUCTION DESCRIPTION** WOOD FRAMED STRUCTURE WITH WOOD HORIZONTAL LAP SIDING AND

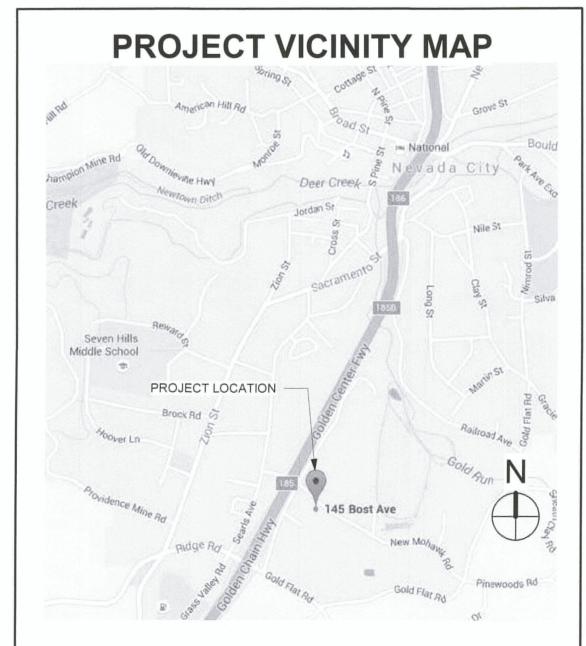
ASPHALT COMPOSITION ROOF.

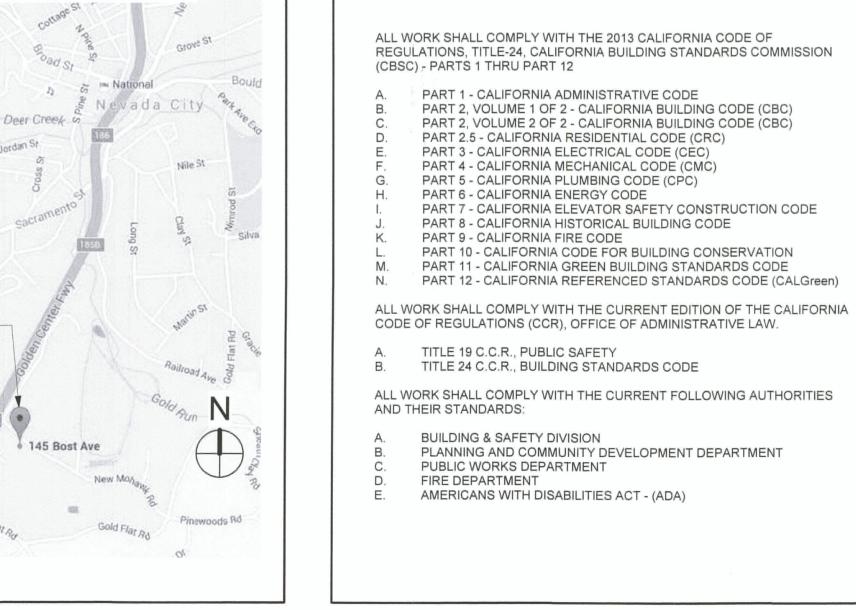


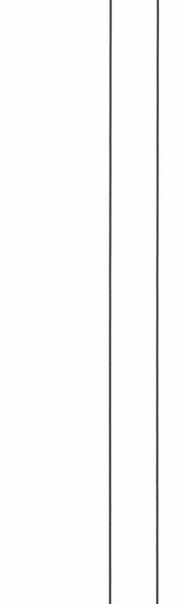




INSPECTION







CITY OF NEVADA CITY 317 Broad Street, Nevada City, California 95959 Fire Department Sam Goodspeed, Fire Chief sam.goodspeed@nevadacityca.gov (530) 265-2351 Parks & Recreation dawn.zydonis@nevadacityca.gov (530) 265-2496 x129 Planning Department Amy Wolfson, City Planner amy.wolfson@nevadacityca.gov 265-2496 ext.130 Police Department Tim Foley, Police Chief tim.foley@nevadacityca.gov

Dawn Zydonis, Parks & Recreation Supervisor

Public Works Department Verne Taylor, Director of Public Works (530) 265-2496 ext.148

NEVADA COUNTY COMMUNITY DEVELOPMENT AGENCY

NOT USED

Eric Rood Administrative Center 950 Maidu Avenue Nevada City, CA 95959

Phone: (530) 265-1222

Phone: (530) 265-1222 Fax: (530) 265-9854

AGENCIES & UTILITIES

Brian Foss, Planning Director Email: planning@co.nevada.ca.us Phone: (530) 265-1222

(530) 265-4700 ext.109

Sean Powers, Agency Director Email: comdevagency@co.nevada.ca.us Phone: (530) 265-1222 Fax: (530) 265-9854

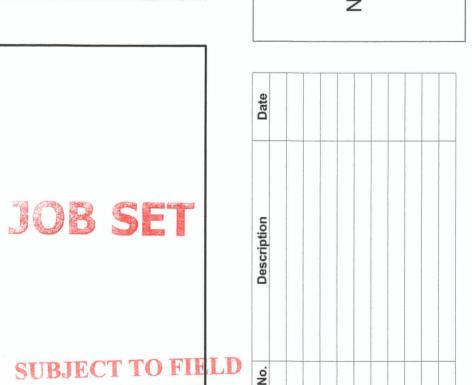
Craig Griesbach, Building Official Email: buildingdept@co.nevada.ca.us

Fax: (530) 265-9851 Amy Irani, Environmental Health Director Email: env.health@co.nevada.ca.us

Fax: (530) 265-9853 NEVADA COUNTY CONSOLIDATED FIRE DISTRICT

Terry McMahan, Fire Prevention Officer 11329 McCourtney Road Grass Valley, CA 95949

Email: terrymcmahan@nccfire.com Phone: (530) 273-3158



WALLIS DESIGN STUDIO

ARCHITECTURE

149 Crown Point Ct., Suite C

Grass Valley, CA 95945

(530) 264-7010

WallisDesignStudio.com

These drawings are the sole property of Wallis Design

Studio. Any reproduction or

reuse in whole or in part without

written approval is strickly

forbidden.

Consultant:

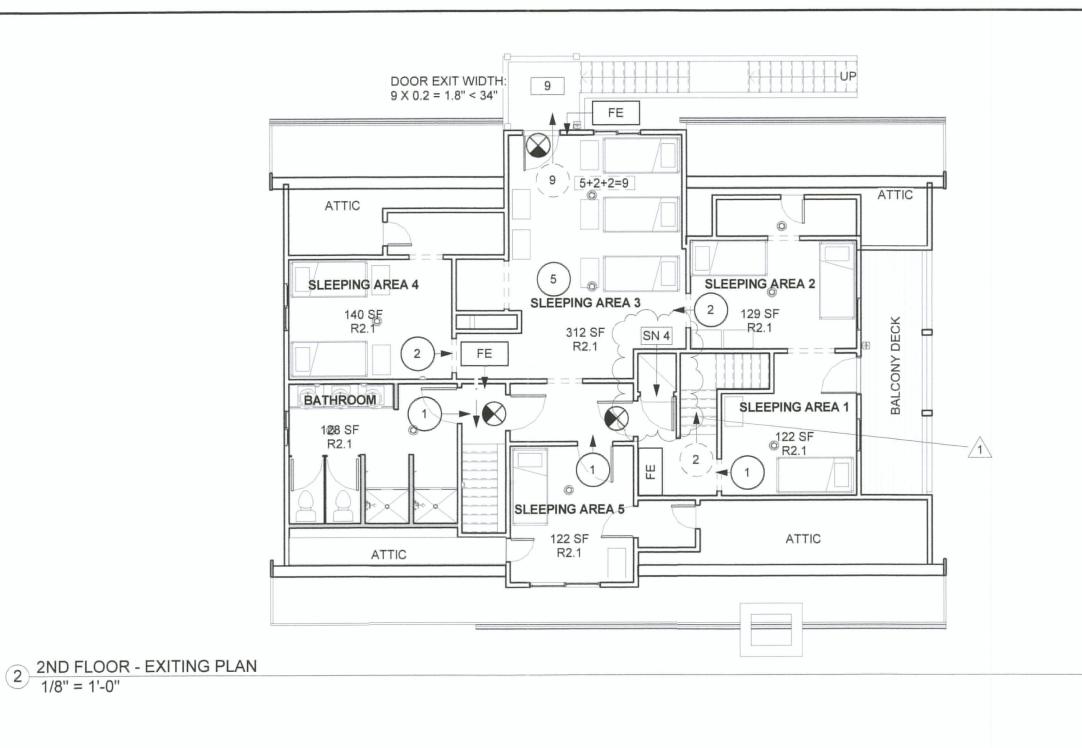
PERMIT

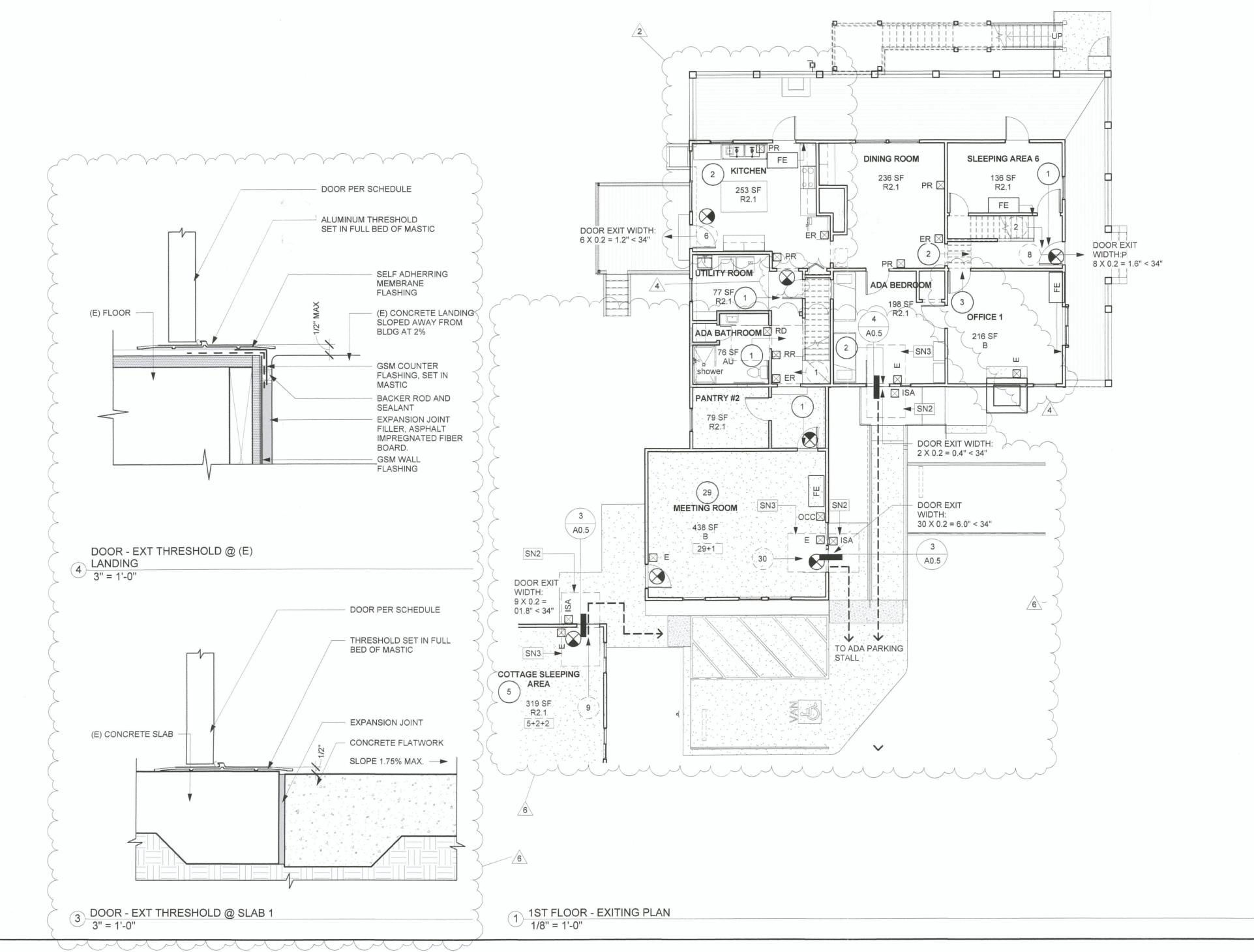
DOCUMENTS

2016004 Proj. No.: 09-05-2017 Date: Scale: 1" = 1'-0" JMT Drawn By:

COVER SHEET

9/5/2017 4:15:50 PM





LEGEND

ROOM SYMBOLS Room name < ROOM NAME 101 ROOM NUMBER SQUARE FOOTAGE * OCC ◀ OCCUPANCY TYPE

EXISTING ANALYSIS SYMBOLS

OCCUPANT LOAD OF SPECIFIC ROOM SF / FLOOR AREA ALLOWANCE PER OCCUPANT = OCCUPANT LOAD ARROW SHOWS DIRECTION OF TRAVEL

ESTIMATED OCCUPANT LOAD TO EXIT FROM MAIN AREA, TYPICALLY 1/2 OR 1/3 THE MAIN AREA OCCUPANT LOAD ARROW SHOWS DIRECTION OF TRAVEL

COMBINED OCCUPANT LOAD WHEN MULTIPLE LOADS DUMP INTO A SINGLE

-OCCUPANT LOAD AT EXTERIOR DOOR USED FOR MINIMUM CLEAR DOOR

-OCCUPANT LOAD AT STAIR USED FOR MINIMUM STAIR WIDTH CALCULATION. ACCESSORY USE = 0 OCCUPANT LOAD

HARDWARE

PANIC DEVICE (EXIT DEVICE) , TYPICAL NON LATCHING HARDWARE AT MAIN ENTRANCE DOORS

SIGNAGE

* REFER TO SIGNAGE LEGEND

WIDTH CALCULATION.

EXIT SIGNS (ILLUMINATED)

ILLUMINATED EXIT SIGN

FIRE EXTINGUISHERS

FIRE EXTINGUISHER AND BRACKET: SURFACE WITH SIGNAGE

PATH OF TRAVEL

- ACCESSIBLE ROUTE

SIGNAGE LEGEND

SIGN IDENTIFICATION

TACTILE EXIT SIGN: "EXIT"

(CBC 1011.1,1011.4) EACH GRADE LEVEL EXTERIOR DOOR WHICH LEADS DIRECTLY TO EXTERIOR.

TACTILE EXIT SIGN: "EXIT ROUTE"

(CBC 1011.1,1011.4) EACH EXIT DOOR OR EXIT PATH WHICH INCLUDES AN EXIT SIGN THAT LEADS DIRECTLY TO A GRADE LEVEL EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN. EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A

CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN.

RESTROOM DOOR MOUNTED IDENTIFICATION SIGN: "MEN" OR "WOMEN" WITH WHEELCHAIR

RESTROOM WALL MOUNTED IDENTIFICATION SIGN: "MEN" OR "WOMEN" WITH WHEELCHAIR A3.1

PERMANENT AND TACTILE ROOM IDENTIFICATION SIGN

BUILDING ENTRANCE AND ACCESSIBILITY SIGNAGE

"INTERNATIONAL SYMBOL OF ACCESSIBILITY" A1.2

SITE ENTRANCE AND ACCESSIBILITY SIGNAGE

SEA SITE ACCESSIBLE ENTRANCE SIGN A1.2 ACCESSORY SIGNAGE

FIRE EXTINGUISHER SIGNAGE.

<u>OCCUPANCY</u>

MAXIMUM OCCUPANCY SIGNAGE: "MAXIMUM OCCUPANCY SHALL NOT EXCEED [FILL IN]"

WHICH READS MAXIMUM NUMBER OF PEOPLE PER CBC SECTION 1004.3 AND QUANTITY AS NOTED ON PLAN. MOUNT SIGN ON WALL AT 8'-0" AFF TO TOP OF SIGN.

NOTE: REFER TO SITE PLAN AND DETAILS FOR SITE SIGNAGE NOT ATTACHED TO BUILDING OR LOCATED WITHIN BUILDING.

SUBJECT TO FIELD

SHEET NOTES

48" x 54" MANEUVERING CLEARANCE AS INDICATED, TYPICAL WHERE SHOWN. 48" x 60" MANEUVERING CLEARANCE AS INDICATED, MAX SLOPE 1.75% IN EACH DIRECTION AT EXTERIOR LANDING, TYPICAL WHERE SHOWN. 60" x 60" MANEUVERING CLEARANCE AS INDICATED, MAX SLOPE 1.75% IN EACH DIRECTION

ment the transfer of the trans

AT EXTERIOR LANDING, TYPICAL WHERE SHOWN. NON-ACCESSIBLE LOCKED DOOR TO (E) ATTIC AREA

RECEIVED

AUG 3 0 2017

Mevada County Community Bevalanment Agency

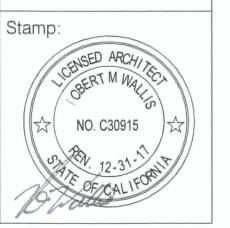


ARCHITECTURE 149 Crown Point Ct., Suite C Grass Valley, CA 95945

> WallisDesignStudio.com These drawings are the

(530) 264-7010

sole property of Wallis Design Studio. Any reproduction or reuse in whole or in part without written approval is strickly



Consultant:

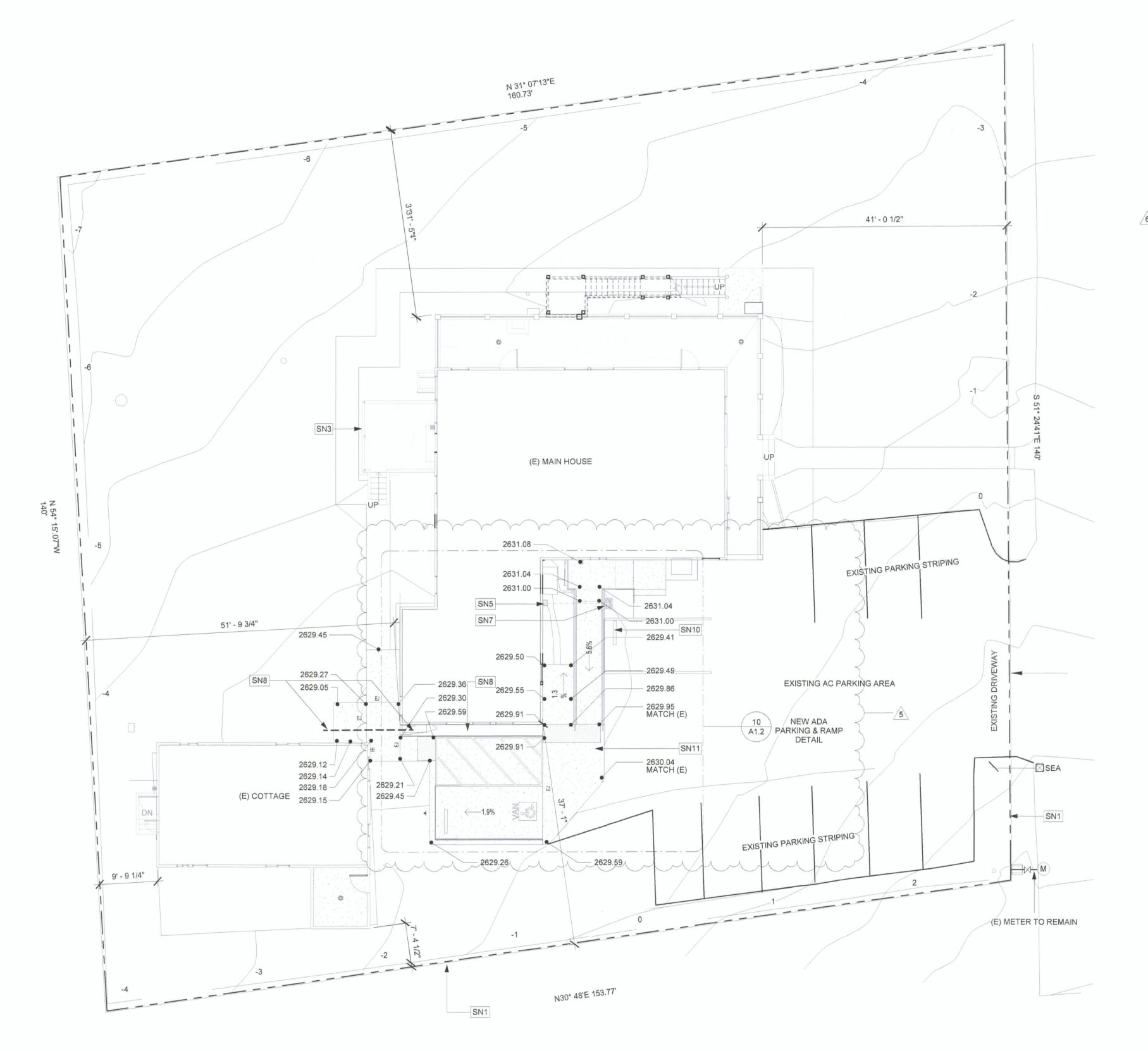
BID DOCUMENT REVISED SCOPE

S HOU 0

2016004 07/17/2017

As indicated Scale: JMT Drawn By:

EXITING PLAN

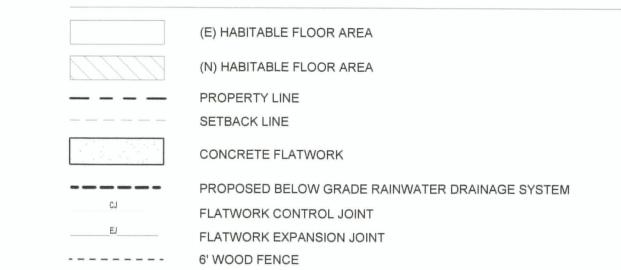


1 SITE PLAN 1" = 10'-0"





LEGEND



CURB/PLANTER WALL TYPES:

(C1)	MATERIAL: FINISH: HEIGHT:	CAST-IN-PLACE CONCRETE REFER TO DETAIL REFER TO DETAIL
	WIDTH:	6-INCHES

SITE ENTRANCE AND ACCESSIBILITY SIGNAGE SITE ACCESSIBLE ENTRANCE SIGN SYMBOL OF ACCESSIBILITY SIGN

SUMMARY CALCULATIONS

PROJEC	TINFORMATION
A.P.N. #:	05-300-10
ZONING:	LB, SC AN
OCCUPA	NCY GROUP: R 2.1
CONSTR	RUCTION TYPE: V-B

IMPERVIOUS SURFACE COVERAGE CALCULATION

A.	(E) MAIN HOUSE AREA		2,373 SF
B.	(E) COTTAGE		744 SF
C.	(E) COVERED DECK:		493 SF
D.	(E) ASPHALT AREA:		4,173 SF
		TOTAL	7,783 SF

LOT COVERAGE/LOT AREA: 7783/21780 (35.7% IMPERVIOUS SURFACE)

ALL AREAS DISTURBED SHALL BE GRADED BACK TO THE ORIGINAL CONTOURS AS FOUND PRIOR TO CONSTRUCTION, UNLESS SPECIFICALLY NOTED ON THE PLAN. ALL CONSTRUCTION SHALL BE CONDUCTED BETWEEN APRIL 1ST AND OCTOBER 15TH. AREAS OF LAND DISTURBANCE STEEPER THAN 3:1 SLOPE SHALL BE COVERED WITH

ALL AREAS OF LAND DISTURBANCE SHALL BE SEEDED AND MULCHED AS DESRCIBED

PERMANENT EROSION CONTROL MIX

Seed Mixture	Lbs/1000 sf	Lbs/Acre Broadcast
Zorro annual fescue Rose Clover	0.2 0.2	6 9
Mulch	Bales/1000 sf	Bales/Acre
Straw (3 wire-80# bales)	1.0	50

ALL TREES AND PLANTS ARE (E) AND TO BE RETAINED, UON. OWNER TO PROVIDE A BOUNDARY LINE VERIFICATION FORM TO THE

SN#	SHEET NO
1.	PROPERTY LINE
2.	NOT USED
3.	NOT USED
4.	NOT USED
5.	(E) DRAIN INLET TO REMAIN.
6.	NOT USED

CONNECT (N) DRAIN INLET UNDER NEW RAMP TO (E) DRAIN INLET (E) GUTTER PROVIDE DRAINAGE UNDER CONCRETE WALK NÓT USED

SUBJECT TO FIELD Proj. No.: INSPECTION

WALLIS DESIGN STUDIO

ARCHITECTURE

149 Crown Point Ct., Suite C

Grass Valley, CA 95945

(530) 264-7010

WallisDesignStudio.com

These drawings are the sole property of Wallis Design Studio. Any reproduction or

reuse in whole or in part without written approval is strickly

Consultant:

BID DOCUMENT

REVISED SCOPE

HOUSE

BOST

2016004 07/17/2017





A1.0 SITE PLAN

PRO JECT INFORMATION

TOTAL LOT AREA: .5 AC (21,780 SF)

A.	(E) MAIN HOUSE AREA:		2,373 S
B.	(E) COTTAGE		744 \$
C.	(E) COVERED DECK:		493 S
D.	(E) ASPHALT AREA:		4,173 S
	Т	OTAL	7,783 S

EROSION CONTROL

EROSION CONTROL MEASURES FOR DISTURBED AREAS

EROSION CONTROL MATTING.

ALL EROSION CONTROL MEASURES SHALL BE IN PLACE THE SAME WORKING DAY AS THE FINAL GRADING AND PRIOR TO OCTOBER 15TH.

PERMANENT ENGLISH CONTROL WITA			
Seed Mixture	Lbs/1000 sf	Lbs/Acre Broadcast	
Zorro annual fescue Rose Clover	0.2 0.2	6 9	
Mulch	Bales/1000 sf	Bales/Acre	
Straw (3 wire-80# bales)	1.0	50	

SIGNATURE:

GENERAL NOTES

BUILDING INSPECTOR, PREPARED BY A LICENSED LAND SURVEYOR FOR BUILDING LINES WITHIN TEN FEET OF PROPERTY LINE SETBACK, WHICH SHALL BE FLAGGED IN THE FIELD BY A LICENSED SURVEYOR PRIOR TO FIRST INSPECTIONS.

SHEET	NOTES

ADD NEW STRIPING AT PARKING SPACE & PROVIDE WHEEL STOP PER DETAIL 7/A1.2 REMOVE (E) AC& CONCRETE SURFACE AND POUR NEW 4" CONCRETE FLATWORK PER GRASS VALLEY STANDARDS.

As indicated

8/30/2017 7:53:51 AM

