

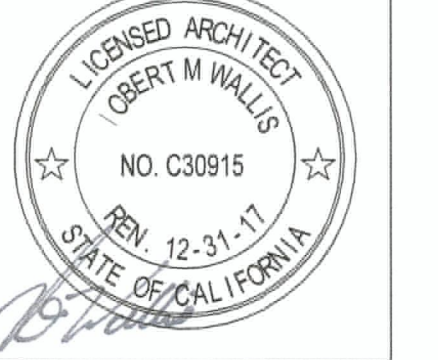


WALLIS DESIGN STUDIO
ARCHITECTURE

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Stamp:



Consultant:

BID DOCUMENT
REVISED SCOPE

BOST HOUSE
NEVADA COUNTY FACILITIES DEPT
145 BOST AVENUE
NEVADA CITY, CA 95959
APN: 05-300-10

No.	Description	Date
1	Plan Review 1 05-08-2016	07-22-2017
2	Scope Revisions	07-22-2017
4	ASI 02 - Exiting	11-15-2017
6	Plan Review ADA 8-17-2017	8-17-2017

Proj. No.: 2016004
Date: 07/17/2017
Scale: As indicated
Drawn By: JMT

A0.5

EXITING PLAN

8/29/2017 12:11:29 PM

LEGEND

ROOM SYMBOLS

- Room name → ROOM NAME
- 101 → ROOM NUMBER
- 150 SF → SQUARE FOOTAGE
- * OCC → OCCUPANCY TYPE

EXISTING ANALYSIS SYMBOLS

- Occupant load of specific room SF / FLOOR AREA ALLOWANCE PER OCCUPANT = OCCUPANT LOAD
ARROW SHOWS DIRECTION OF TRAVEL
- Estimated occupant load to exit from main area, typically 1/2 or 1/3 THE MAIN AREA OCCUPANT LOAD
ARROW SHOWS DIRECTION OF TRAVEL
- Combined occupant load when multiple loads dump into a single area
- Occupant load at exterior door used for minimum clear door width calculation
Occupant load at stair used for minimum stair width calculation
- AU ACCESSORY USE = 0 OCCUPANT LOAD

HARDWARE

- Panic device (exit device), typical non latching hardware at main entrance doors

SIGNAGE

- Refer to signage legend

EXIT SIGNS (ILLUMINATED)

- ILLUMINATED EXIT SIGN

FIRE EXTINGUISHERS

- FIRE EXTINGUISHER AND BRACKET: SURFACE WITH SIGNAGE

PATH OF TRAVEL

- ACCESSIBLE ROUTE

SIGNAGE LEGEND

SIGN IDENTIFICATION

- TACTILE EXIT SIGN: "EXIT"
(CBC 1011.1, 1011.4)
EACH GRADE LEVEL EXTERIOR DOOR WHICH LEADS DIRECTLY TO EXTERIOR.
- TACTILE EXIT SIGN: "EXIT ROUTE"
(CBC 1011.1, 1011.4)
EACH EXIT DOOR OR EXIT PATH WHICH INCLUDES AN EXIT SIGN THAT LEADS DIRECTLY TO A GRADE LEVEL EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN.
EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN.
- RESTROOM DOOR MOUNTED IDENTIFICATION SIGN: "MEN" OR "WOMEN" WITH WHEELCHAIR (A3.1)
- RESTROOM WALL MOUNTED IDENTIFICATION SIGN: "MEN" OR "WOMEN" WITH WHEELCHAIR (A3.1)
- PERMANENT AND TACTILE ROOM IDENTIFICATION SIGN (A3.1)

BUILDING ENTRANCE AND ACCESSIBILITY SIGNAGE

- ACCESSIBLE ENTRANCE SIGN: "INTERNATIONAL SYMBOL OF ACCESSIBILITY" (A1.2)

SITE ENTRANCE AND ACCESSIBILITY SIGNAGE

- SITE ACCESSIBLE ENTRANCE SIGN (A1.2)

ACCESSORY SIGNAGE

- FIRE EXTINGUISHER SIGNAGE.

OCCUPANCY

- MAXIMUM OCCUPANCY SIGNAGE: "MAXIMUM OCCUPANCY SHALL NOT EXCEED [FILL IN]" WHICH READS MAXIMUM NUMBER OF PEOPLE PER CBC SECTION 1004.3 AND QUANTITY AS NOTED ON PLAN.
MOUNT SIGN ON WALL AT 8'-0" AFF TO TOP OF SIGN.

NOTE: REFER TO SITE PLAN AND DETAILS FOR SITE SIGNAGE NOT ATTACHED TO BUILDING OR LOCATED WITHIN BUILDING.

SHEET NOTES

- 48" x 54" MANEUVERING CLEARANCE AS INDICATED, TYPICAL WHERE SHOWN.
- 48" x 60" MANEUVERING CLEARANCE AS INDICATED, MAX SLOPE 1.75% IN EACH DIRECTION AT EXTERIOR LANDING, TYPICAL WHERE SHOWN.
- 60" x 60" MANEUVERING CLEARANCE AS INDICATED, MAX SLOPE 1.75% IN EACH DIRECTION AT EXTERIOR LANDING, TYPICAL WHERE SHOWN.
- NON-ACCESSIBLE LOCKED DOOR TO (E) ATTIC AREA

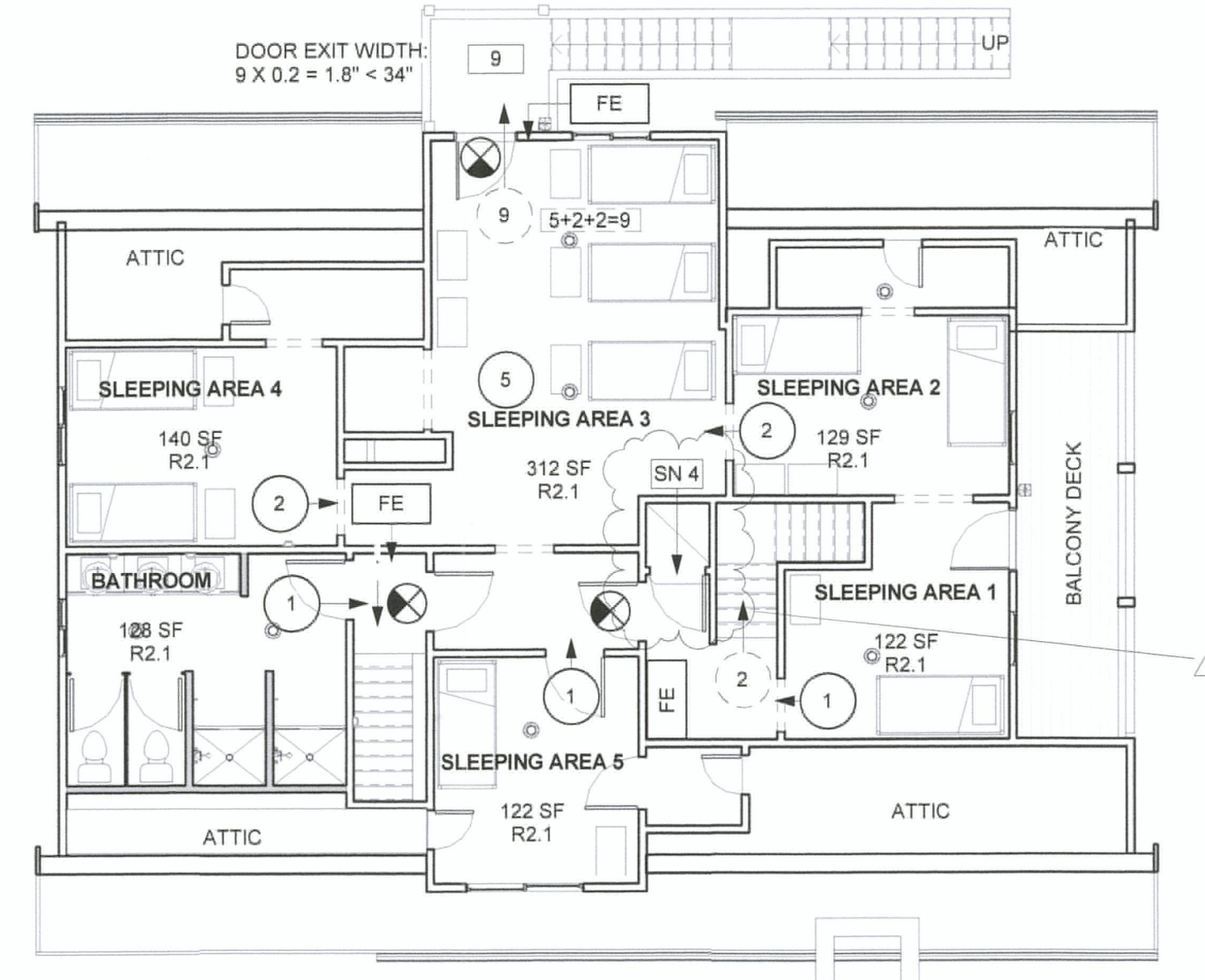
SUBJECT TO FIELD INSPECTION

JOB SET

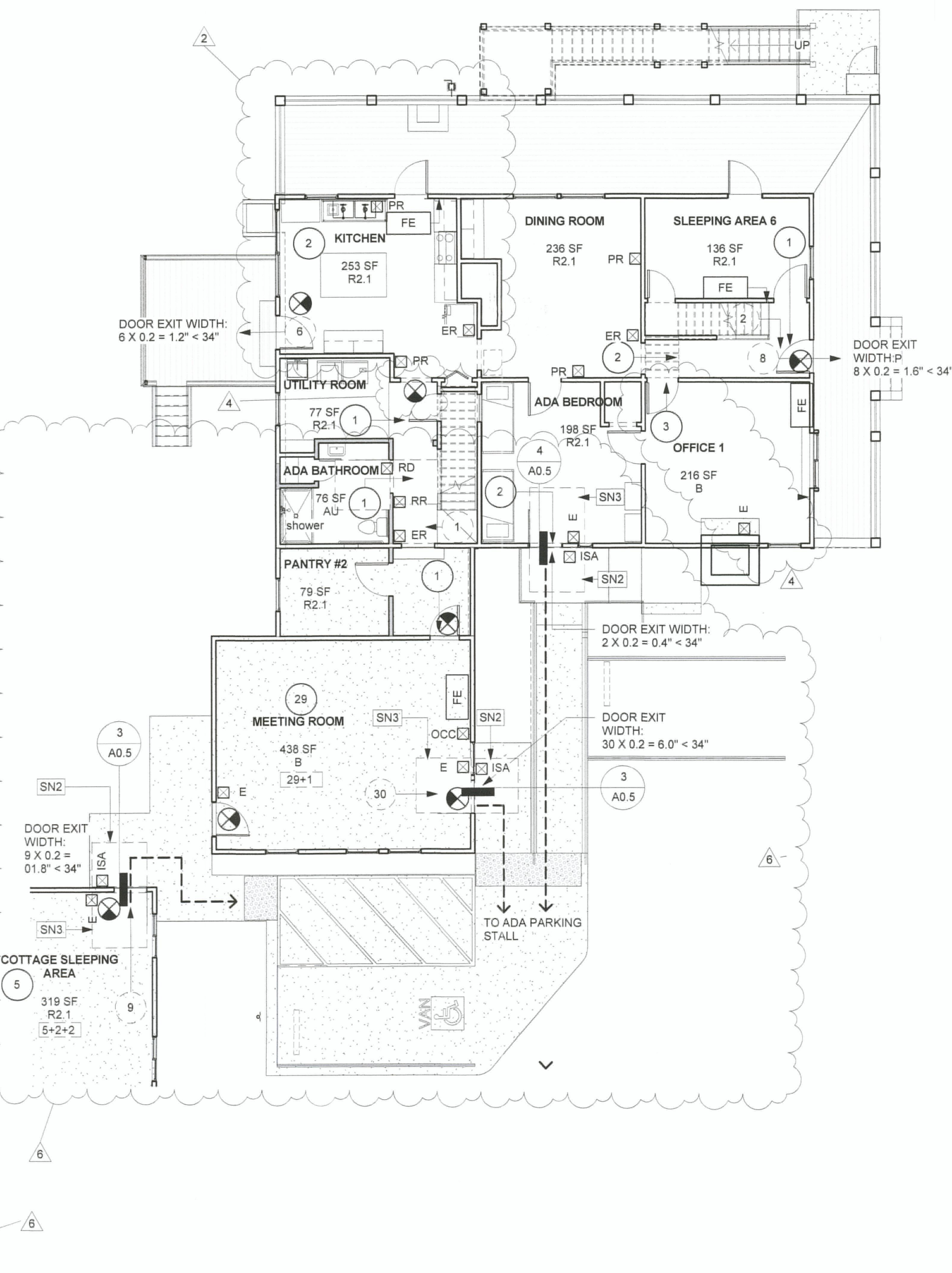
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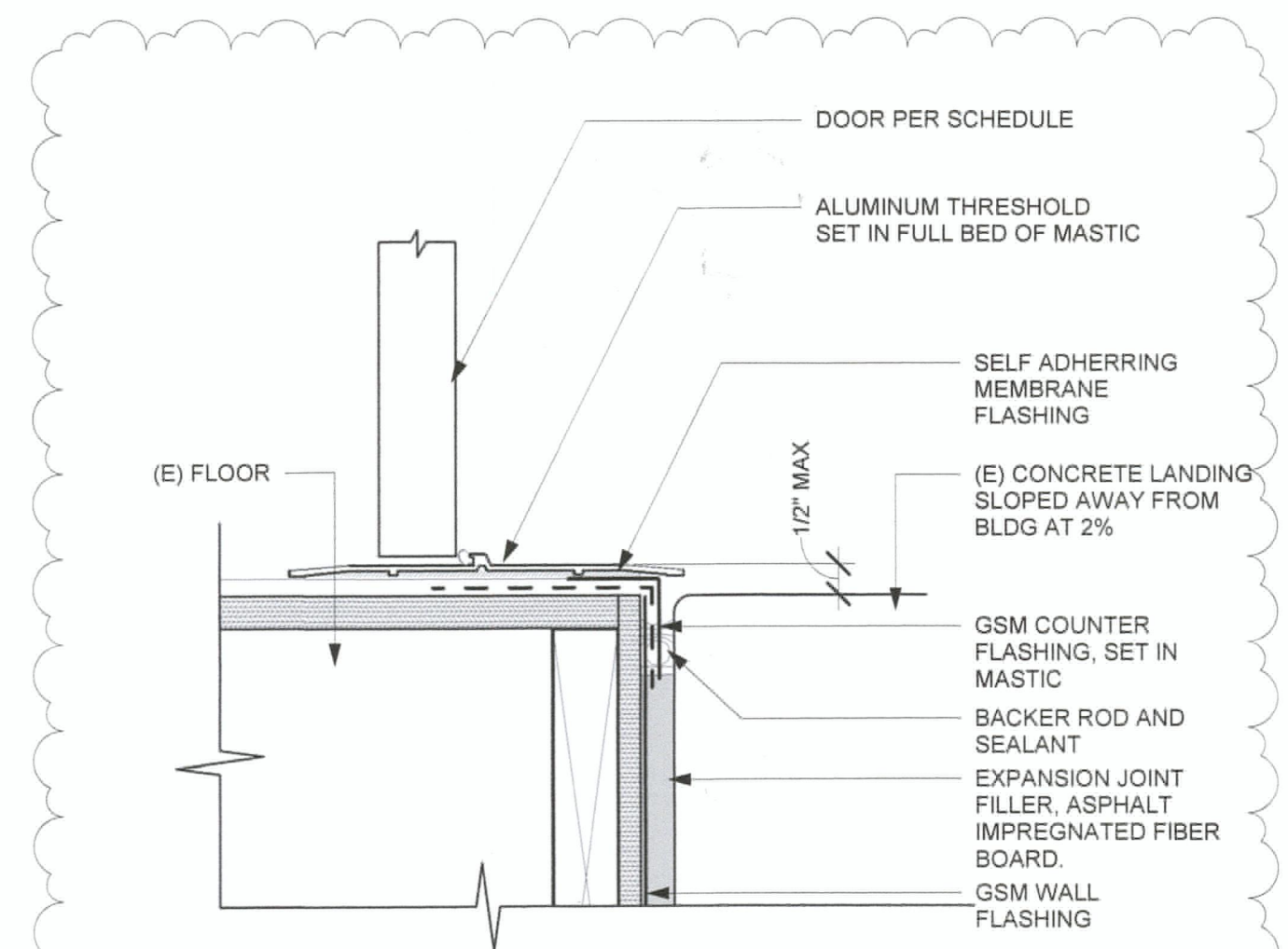
Nevada County Community Development Agency



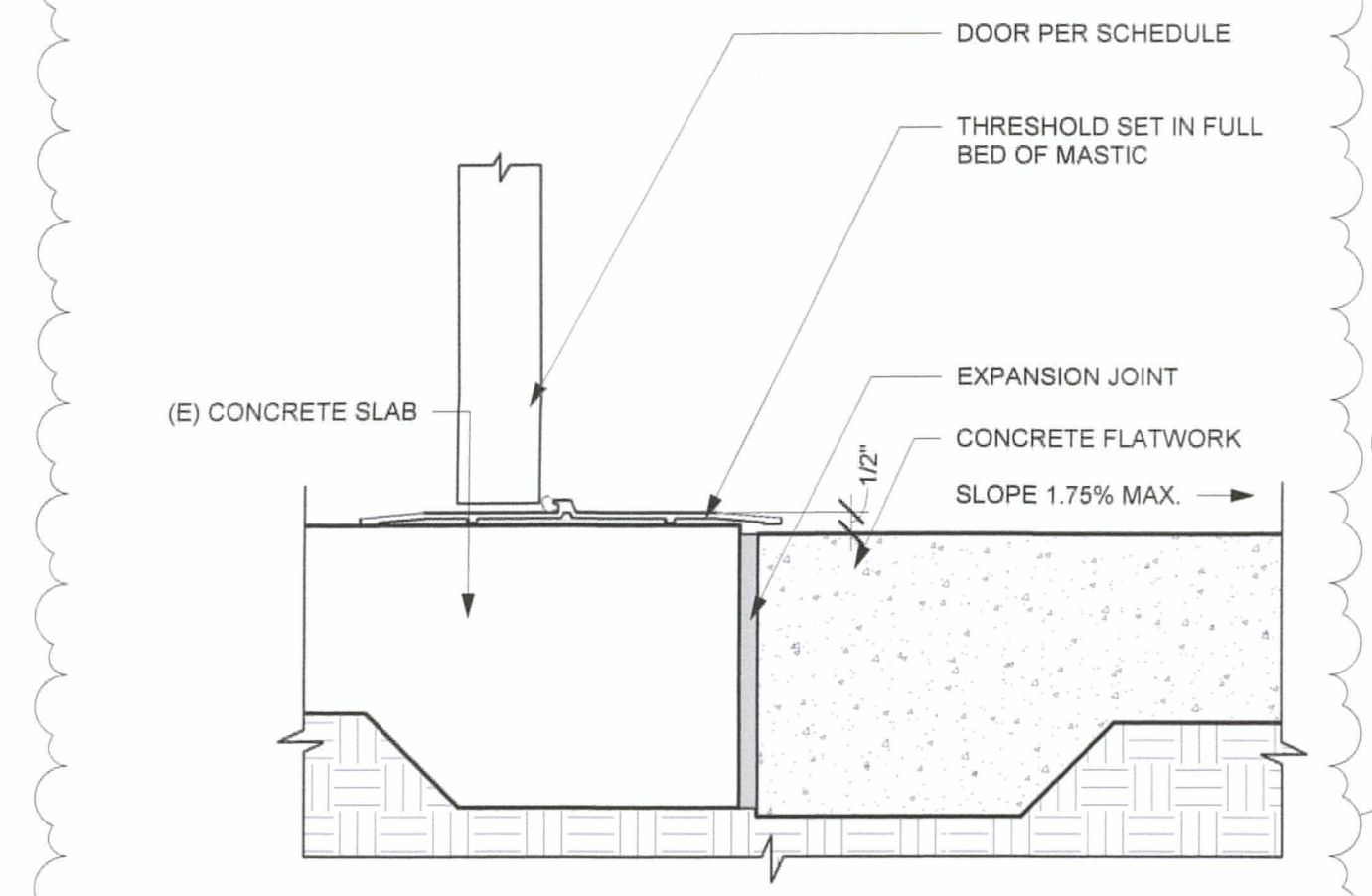
2ND FLOOR - EXITING PLAN
1/8" = 1'-0"



1ST FLOOR - EXITING PLAN
1/8" = 1'-0"



DOOR - EXT THRESHOLD @ (E) LANDING
3" = 1'-0"



DOOR - EXT THRESHOLD @ SLAB 1
3" = 1'-0"

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BID DOCUMENT
REVISED SCOPE

LEGEND

- (E) HABITABLE FLOOR AREA
- (N) HABITABLE FLOOR AREA
- PROPERTY LINE
- SETBACK LINE
- CONCRETE FLATWORK
- PROPOSED BELOW GRADE RAINWATER DRAINAGE SYSTEM
- FLATWORK CONTROL JOINT
- FLATWORK EXPANSION JOINT
- 6" WOOD FENCE

- CURB/PLANTER WALL TYPES:**
- (C1) MATERIAL: CAST-IN-PLACE CONCRETE
 FINISH: REFER TO DETAIL
 HEIGHT: REFER TO DETAIL
 WIDTH: 6-INCHES

SITE ENTRANCE AND ACCESSIBILITY SIGNAGE

- SEA SITE ACCESSIBLE ENTRANCE SIGN 4 A1.1
- ISA SYMBOL OF ACCESSIBILITY SIGN 3 A1.1

SUMMARY CALCULATIONS

PROJECT INFORMATION

A.P.N. #: 05-300-10
 ZONING: LB, SC AN
 OCCUPANCY GROUP: R 2.1
 CONSTRUCTION TYPE: V-B
 TOTAL LOT AREA: .5 AC (21,780 SF)

IMPERVIOUS SURFACE COVERAGE CALCULATION

A.	(E) MAIN HOUSE AREA:	2,373 SF
B.	(E) COTTAGE	744 SF
C.	(E) COVERED DECK:	493 SF
D.	(E) ASPHALT AREA:	4,173 SF
	TOTAL	7,783 SF

LOT COVERAGE/LOT AREA: 7783/21780 (35.7% IMPERVIOUS SURFACE)

EROSION CONTROL

EROSION CONTROL MEASURES FOR DISTURBED AREAS

- A. ALL AREAS DISTURBED SHALL BE GRADED BACK TO THE ORIGINAL CONTOURS AS FOUND PRIOR TO CONSTRUCTION, UNLESS SPECIFICALLY NOTED ON THE PLAN.
- B. ALL CONSTRUCTION SHALL BE CONDUCTED BETWEEN APRIL 1ST AND OCTOBER 15TH.
- C. AREAS OF LAND DISTURBANCE STEEPER THAN 3:1 SLOPE SHALL BE COVERED WITH EROSION CONTROL MATTING.
- D. ALL AREAS OF LAND DISTURBANCE SHALL BE SEEDED AND MULCHED AS DESCRIBED BELOW.
- E. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE THE SAME WORKING DAY AS THE FINAL GRADING AND PRIOR TO OCTOBER 15TH.

PERMANENT EROSION CONTROL MIX

Seed Mixture	Lbs/1000 sf	Lbs/Acre Broadcast
Zorro annual fescue	0.2	6
Rose Clover	0.2	9
Mulch	Bales/1000 sf	Bales/Acre
Straw (3 wire-80# bales)	1.0	50

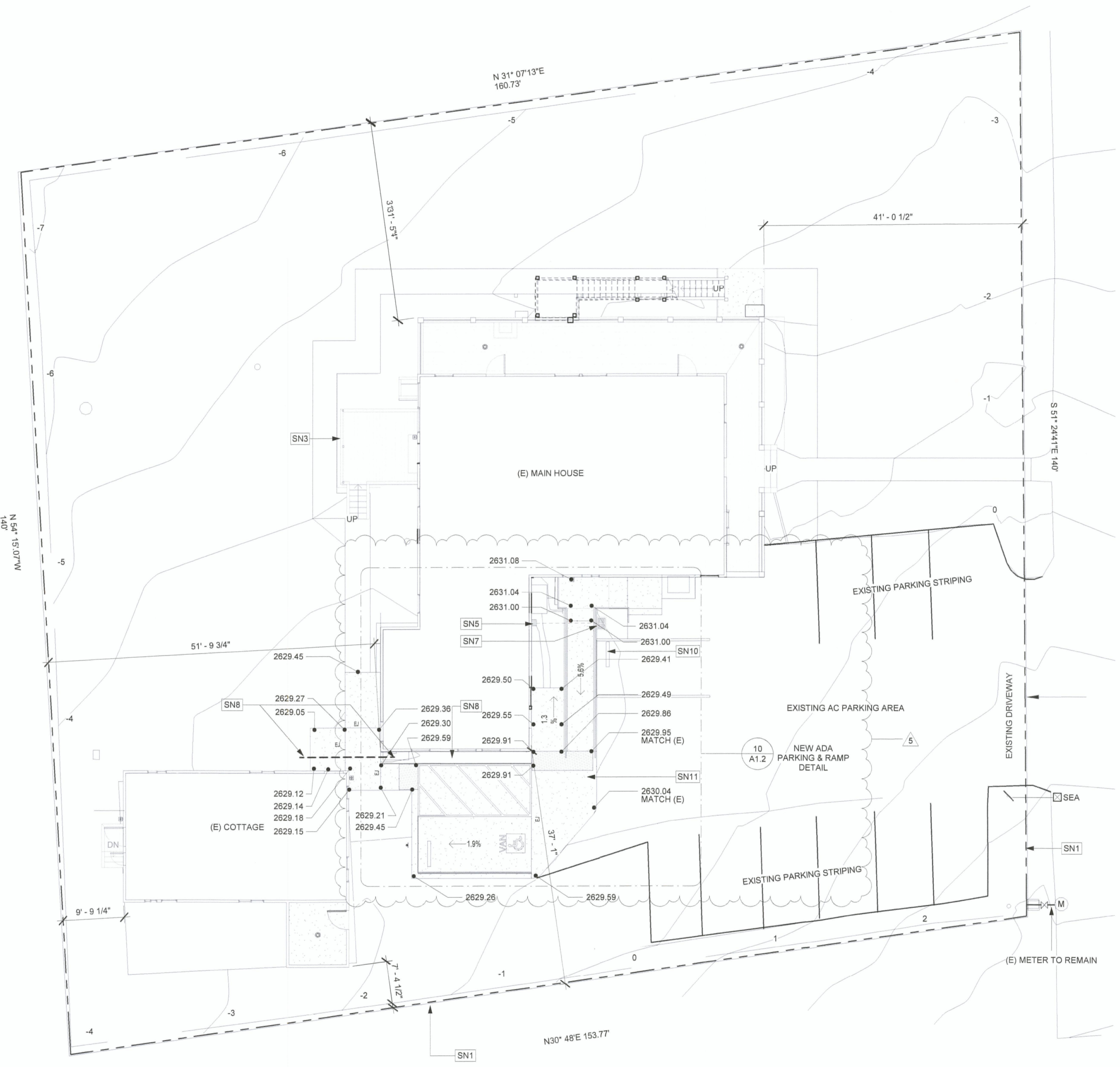
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GENERAL NOTES

- A. ALL TREES AND PLANTS ARE (E) AND TO BE RETAINED, UON.
- B. OWNER TO PROVIDE A BOUNDARY LINE VERIFICATION FORM TO THE BUILDING INSPECTOR, PREPARED BY A LICENSED LAND SURVEYOR FOR BUILDING LINES WITHIN TEN FEET OF PROPERTY LINE SETBACK, WHICH SHALL BE FLAGGED IN THE FIELD BY A LICENSED SURVEYOR PRIOR TO FIRST INSPECTIONS.

SHEET NOTES

- 1. PROPERTY LINE
- 2. NOT USED
- 3. NOT USED
- 4. NOT USED
- 5. (E) DRAIN INLET TO REMAIN.
- 6. NOT USED
- 7. CONNECT (N) DRAIN INLET UNDER NEW RAMP TO (E) DRAIN INLET
- 8. (E) GUTTER PROVIDE DRAINAGE UNDER CONCRETE WALK
- 9. NOT USED
- 10. ADD NEW STRIPING AT PARKING SPACE & PROVIDE WHEEL STOP PER DETAIL 7/A1.2
- 11. REMOVE (E) AC & CONCRETE SURFACE AND POUR NEW 4" CONCRETE FLATWORK PER GRASS VALLEY STANDARDS.

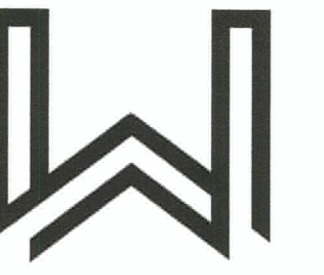


1 SITE PLAN
 1" = 10'-0"

No.	Description	Date
1		11-16-201
2		6
3		
4		
5	AST 03 - ADA Parking	

Proj. No.: 2016004
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A1.0
 SITE PLAN



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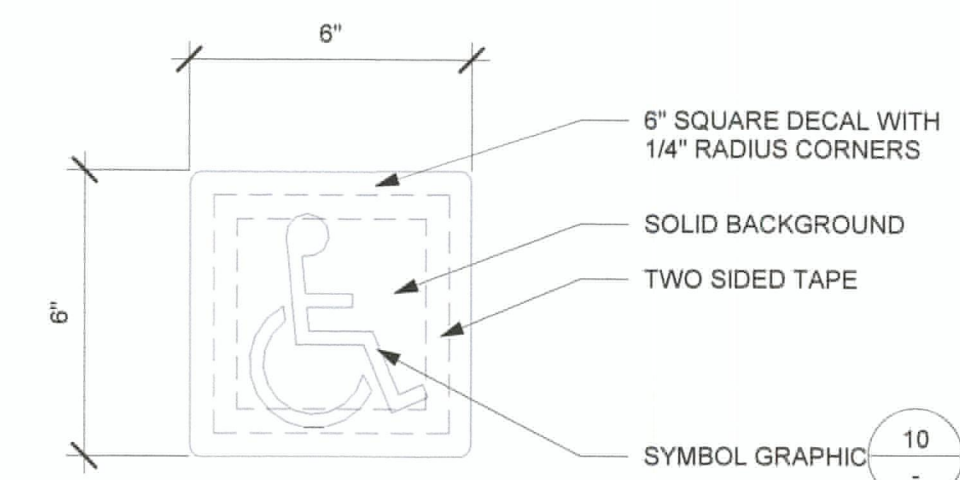
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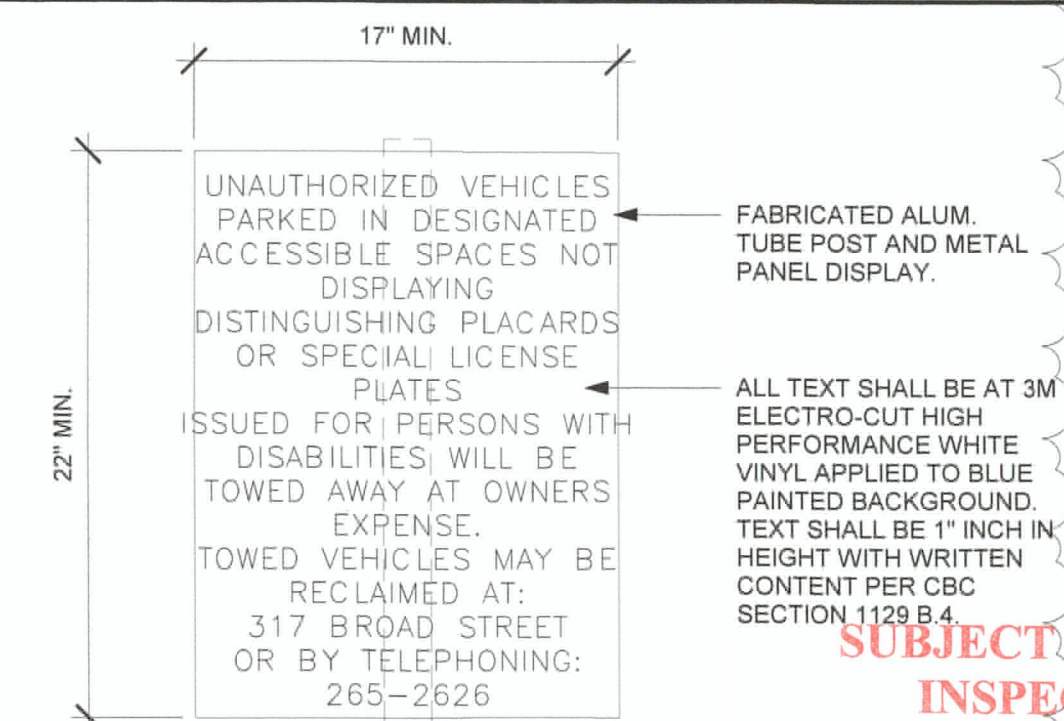
SITE DETAILS

8/30/2017 9:06:33 AM



NOTE:
A. INSTALL WITH BLANK AT OPPOSITE SIDE OF GLAZING. INSTALL WITH 3M TWO SIDED TAPE TO GLAZING, TYP

3 SIGN - ENTRANCE - ISA
3" = 1'-0"



4 SIGN - SITE ENTRANCE (SEA)
1 1/2" = 1'-0"

SUBJECT TO FIELD INSPECTION

JOB SET

